



## **ADDENDUM NO. 1 - OUTLINE AND SUMMARY INFORMATION**

Project Name: Julia Martin Stairs PPA No.: 22-0656  
Location: Montana State University - Bozeman Date: 12/20/2023  
Owner: State of Montana, MSU - Bozeman  
Plew Building 6<sup>th</sup> and Grant, PO Box 172760  
Bozeman, Montana 59717-2760

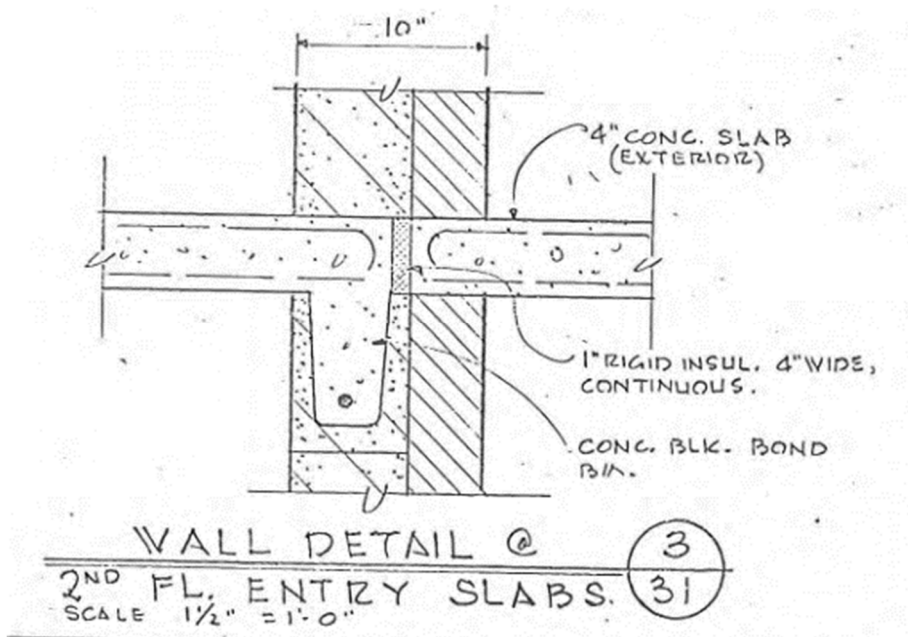
To: *All Plan Holders of Record*

*The Plans and Specification prepared by MSU and DCI dated **12/06/2023** shall be clarified and added as follow. The bidder proposes to perform all the following clarifications or changes. It is understood that the Base Bid shall include any modification of Work or Additional Work that may be required by reason of the following change or clarifications.*

*The Bidders are to acknowledge the receipt of this Addendum by inserting its number and date into their Bid Forms. Failure to acknowledge may subject the Bidder to disqualification and rejection of the bid. This Addendum forms part of the Contract Documents as if bound therein and modifies them as follows:*

1. AMENDMENTS TO THE PROJECT MANUAL
  - a. Specifications:
    - i. Revised 'Table of Contents' to reflect added sheet S1.3 and Exhibit 1.
    - ii. Revised 'Instructions to Bidders' to reflect correct contract completion date.
2. AMENDMENTS TO THE DRAWINGS
  - a. Drawings:
    - i. Added sheet S1.3 – Alternate – Upper Landing Guardrail.
  - b. Exhibits:
    - i. Added Exhibit 1 – Original Foundation Plan.
3. OTHER
  - a. Contractor Questions
    - i. QUESTION: On sheet S1.1, For the middle staircase, the top step connecting to the landing is shown to stay as existing. During the onsite meeting, it was determined that the top step may be better to remove and replace it with a metal pan and fill with concrete or metal grate. Please confirm which detail should be used.  
RESPONSE: Bid as shown. If an alternate detail is proposed after the contract is awarded or deemed necessary due to existing conditions, DCI will work with MSU to provide construction details.
    - ii. QUESTION: Sheet S1.1 calls out to repair brick as needed. Please provide product specifications on the brick material.  
RESPONSE: Contractor will need to match existing brick as best as possible. We do not have current brick specifications.
    - iii. QUESTION: Sheet S1.2, Please provide a "right" staircase drawing layout like drawings S1.2  
RESPONSE: "Right" staircase is similar to "left" staircase except mirrored in plan as noted. After a contractor is selected, we can provide an additional sheet to facilitate fabrication.

- iv. QUESTION: Sheet S1.2, Plan 2 for the left stair, level 2 framing plan: Grid line 2 only indicates support columns at grid line A and D. Additionally the channels along grid line 2 for the lower landing, stair stringer and precast element are not indicated as attached to the wall. Is this correct?  
 RESPONSE: Correct. The double bent stringer along gridline two is supported only by columns at grid 'A' and 'D'.
- v. QUESTION: Sheet S1.2, Plan 2 for the left stair, level 2 framing plan: How is the middle stringer connecting the two landings attached to the upper landing? Detail 10/S2.1 does not appear to apply to the middle stringer. Is this bolted or field welded? Please clarify.  
 RESPONSE: The interior stringer should be welded to the channel at Grid C. Additional details can be provided before steel fabrication. For purposes of the bid, assume a welded tab connection similar to detail 7/S2.1
- vi. QUESTION: Sheets S1.1/1.2: Are aluminum guardrails an acceptable alternative?  
 RESPONSE: See Section 5.1 in the Instructions to Bidders and Specification Section 012500 Substitution Procedures. The guardrails have been designed as steel.
- vii. QUESTION: Sheets S1.1/1.2, Are there as-builts/details of the existing connection/interface of the upper landing to the existing walls?  
 RESPONSE: We do not know if the plans we have are as-builts or construction drawings but the detail we have access to is snipped below:



- viii. QUESTION: Sheets S1.1/1.2: What are the coating requirements for the steel members? Is it galvanized or shop painted?

RESPONSE: See finish requirements on sheet S0.2 and as snipped below.

PROTECTIVE COATING REQUIREMENTS:

- (1) SHOP PAINTING: Conform to AISC 360 Section M3 and AISC 303 Section 6.5 unless otherwise specified by the project specifications
- (2) EXTERIOR STEEL: Galvanize after fabrication to ASTM A123/A123M requirements. Provide minimum 1.7oz/sq ft galvanized coating. Touch up abraded areas after installation using compatible touch-up primer for galvanized surfaces.
  - a. Galvanized Exterior Steel: Satin Gloss; two finish coats over primer
    - i. Prep: SSPC SP-1, or manufacturer-recommended where passivated substrate used.
    - ii. Use: Exterior

MFG	PRIMER	FINISH COATS
PPG	Corafon ADS 572/574 Epoxy Primer	Two coats BRP 1501 Urethane

- ix. QUESTION: Please confirm the units will be vacant from 5/10/24 to 8/2/24.  
RESPONSE: Yes, they units will be vacated during the construction period.
- x. QUESTION: Can access for Julia Martin Drive be closed to public traffic during the work period?  
RESPONSE: Access restrictions can be coordinated with MSU Parking Services upon selection of a successful bidder.
- xi. QUESTION: Will the contractor be able to stage material/equipment in the parking area for the Julia Martin West compound?  
RESPONSE: A material/equipment laydown area will be coordinated upon selection of a successful bidder in the parking area or areas immediately adjacent to the project site. Contractor will be responsible for restoring the site after use to existing conditions prior to use.
- xii. QUESTION: Are there as-builts/details of the existing slabs/foundations below the stairs?  
RESPONSE: We do not know if the plans we have are as-builts or construction drawings, but the foundation plans have been extracted and are attached as Exhibit 1. These are for reference only and are not to be considered as-built conditions.
- xiii. QUESTION: Coordination with MSU personnel for access to the units is understood to be required, however can the time requirements for access to the units for cleaning/maintenance during the construction period by MSU be clarified? Is access to 4 units for 2 weeks in May and again in July adequate?  
RESPONSE: Access for MSU University Student Housing to be coordinated upon selection of a successful bidder in sequence with successful contractor's construction schedule.
- xiv. QUESTION: Will the contractor have use of existing exterior power and water services available at the units?  
RESPONSE: Yes.
- xv. QUESTION: In the specification's manual, on Invitation to Bidders page 1 of 1, Time of Completion calls out completion by August 2nd, 2024 or Eight-Two (82) consecutive days, but Page 6 of 7 Time of Completion 17.1 calls out August 9th, 2024 or within 90 days. Please clarify.  
RESPONSE: The contract completion date is by August 2, 2024 or within eighty-two (82) consecutive days. The Instructions to Bidders has been revised and included in this addendum.
- xvi. QUESTION: In the Section 024119 Selective Demolition 1.7 D. Hazardous Materials, is states that there is hazardous material present in the building where demolition will be done, and that a report of the presence of the hazardous material is included, but the was no ACM report found in the specs. Please clarify.  
RESPONSE: This was included in error. Currently, we are not aware of any hazardous materials on site.
- xvii. QUESTION: For bonding purposes, what is the engineers estimate?  
RESPONSE: Assume a total project cost of \$1.5mm for bonding purposes. MSU does not have a formal estimate available.
- xviii. QUESTION: Please provide a location for temporary power and water hook ups?  
RESPONSE: Water hookups are at the end of each building, with power hookups at the curb and the transformers near some buildings.

END.

# TABLE OF CONTENTS

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## CONSTRUCTION DRAWINGS

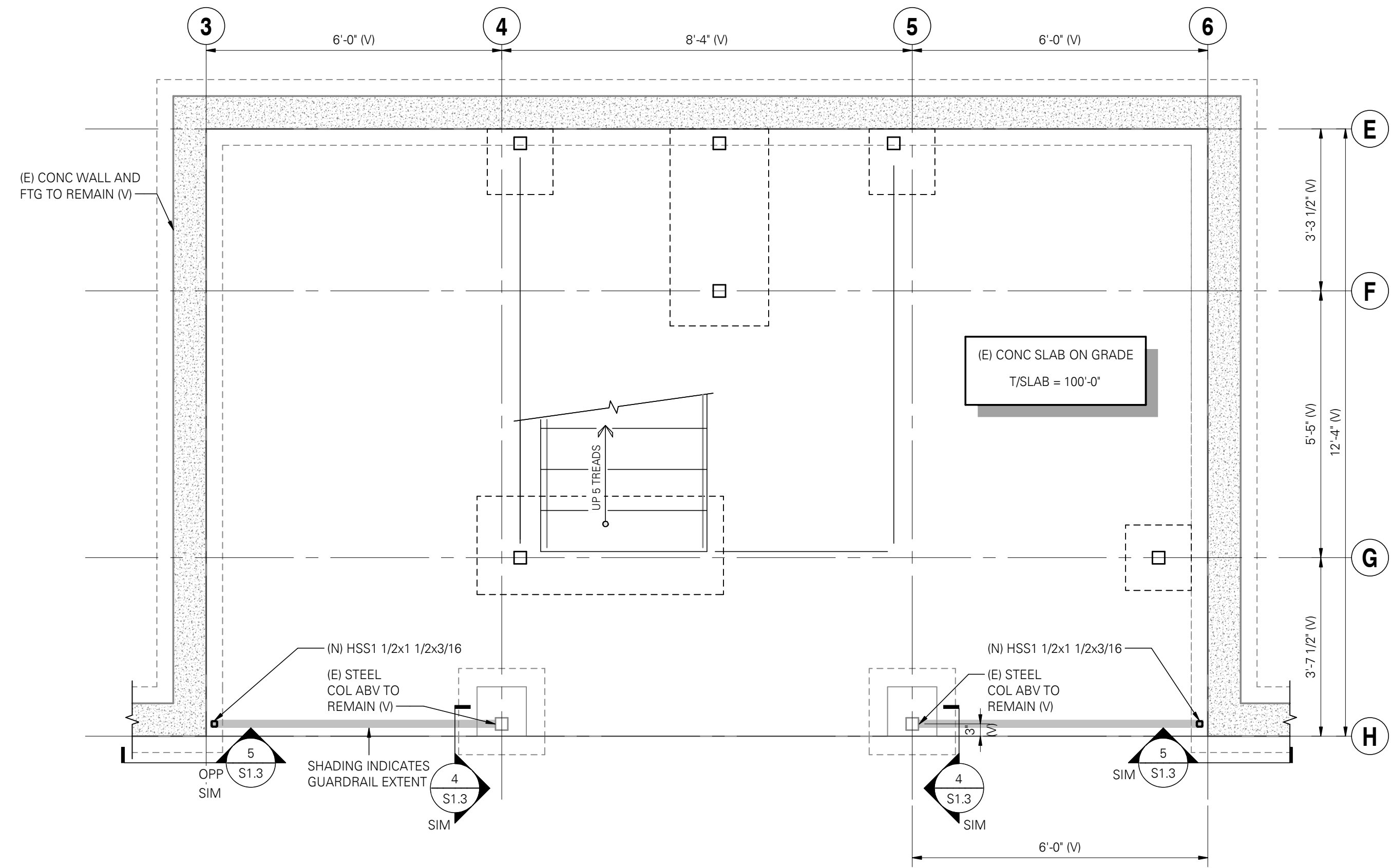
S1.2	Foundation & Framing Plans - Left Stair
<u>S1.3</u>	<u>Alternate – Upper Landing Guardrail</u>
S2.1	Details
S2.2	Details
SD1.1	Demo

## EXHIBITS

<u>Exhibit 1</u>	<u>Original Foundation Plan</u>
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TABLE OF CONTENTSEND

- 12.1. IF THE PROJECT COST IS LESS THAN \$25,000, AT ITS SOLE DISCRETION THE STATE OF MONTANA MAY OR MAY NOT REQUIRE A PERFORMANCE OR LABOR AND MATERIAL PAYMENT SECURITY (18-2-201 MCA). **(MSU REQUIRES BONDS ON ALL PROJECTS ABOVE \$50,000.)**
- 12.2. THE CONTRACTOR SHALL PROVIDE BOTH SECURITIES FOR THIS PROJECT AS SPECIFIED BELOW, UNLESS SPECIFICALLY DIRECTED THAT THIS REQUIREMENT HAS BEEN WAIVED ELSEWHERE IN THESE DOCUMENTS.
- 12.3. The Owner shall require the successful bidder to furnish a Performance Bond in the amount of 100% of the contract price as security for the faithful performance of his contract (18-2-201, MCA).
- 12.4. The Owner shall require the successful bidder to furnish a Labor and Material Payment Bond in the amount of 100% of the contract price as security for the payment of all persons performing labor and furnishing materials in connection therewith (18-2-201 MCA).
- 12.5. The bonds shall be executed on forms furnished by the Owner. No other forms will be acceptable.
- 12.6. The bonds shall be signed in compliance with State statutes (33-17-111 MCA).
- 12.7. Bonds shall be secured from a State licensed bonding company.
- 12.8. Power of Attorney
  - 12.8.1. Attorneys-in-fact who sign contract bonds must file with each bond a certified and effectively dated copy of their power of attorney;
  - 12.8.2. One original copy shall be furnished with each set of bonds.
  - 12.8.3. Others furnished with a set of bonds may be copies of that original.
13. Notice To Proceed
  - 13.1. The successful bidder who is awarded the contract for construction will not be issued a Notice to Proceed until there is a signed Contract, the specified insurance certificates and a copy of the bidder's current Construction Contractor Registration Certificate in the Owner's possession. All items are required within fifteen (15) calendar days of contract award made by the Owner.
14. Laws and Regulations
  - 14.1. The bidders' attention is directed to the fact that all applicable federal and state laws, municipal ordinances, and the rules and regulations of all authorities having jurisdiction over the project shall apply to the contract throughout and will be deemed to be included in this contract as if bound herein in full.
15. Payments
  - 15.1. NOTICE OF APPROVAL OF PAYMENT REQUEST PROVISION. Per Title 28, Chapter 2, Part 21, this contract allows the Owner to change the number of days to approve a Contractor's payment request. This contract allows the Owner to approve the Contractor's payment request within thirty-five (35) calendar days after it is received by the Owner without being subject to the accrual of interest.
16. Buy Safe Montana Provisions
  - 16.1. The successful bidder who is awarded the contract for construction shall provide their incident rate, experience modification ratio (EMR) and loss ratio via the Buy-Safe Montana form with the Award documents.
17. Time of Completion
  - 17.1. Bidder agrees to commence work immediately upon receipt of the Notice to Proceed and to substantially complete the project **by August 9<sup>th</sup> 2<sup>nd</sup>, 2024** or **within 90-(82) consecutive days**.

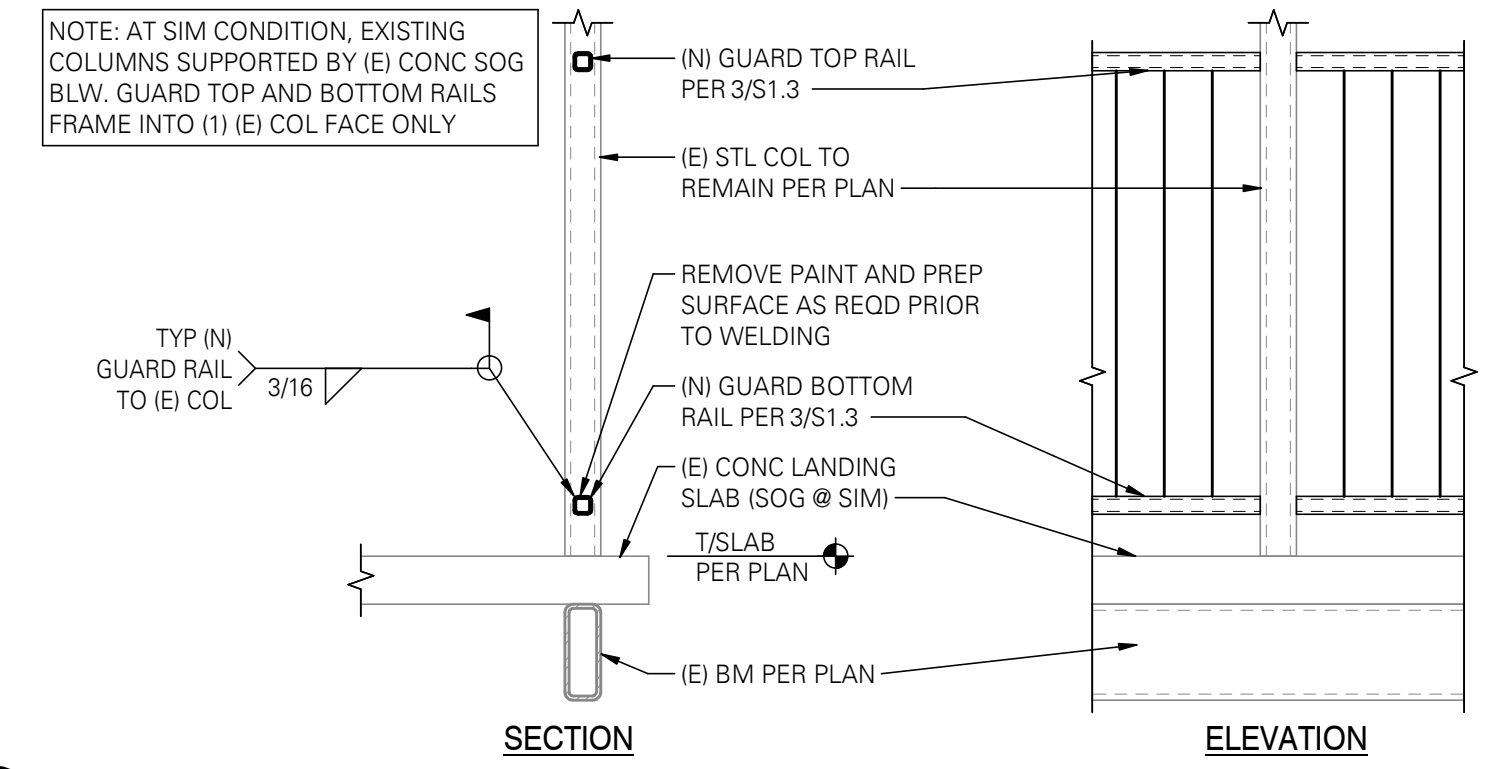


**1 ALTERNATE - LOWER GUARDRAIL REPLACEMENT - MIDDLE STAIR**  
SCALE: 1/2" = 1'-0"

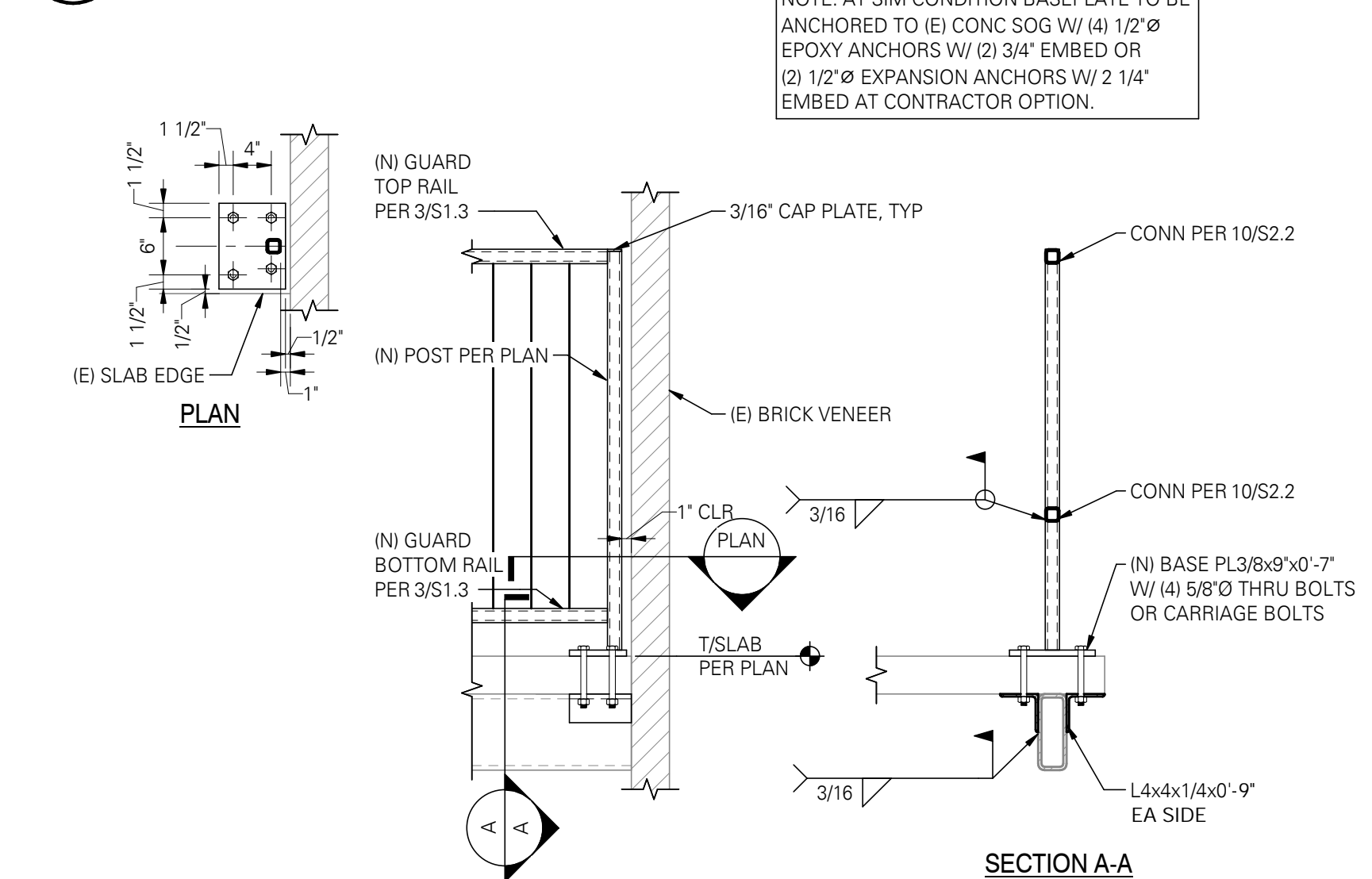
- PLAN NOTES:**
- STRUCTURAL GENERAL NOTES, DESIGN CRITERIA, ABBREVIATIONS, AND LEGEND PER S0.1 AND S0.2.
  - ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED BEFORE STAIR DEMOLITION. ALL DIMENSIONS ARE BASED ON FIELD MEASUREMENTS OF THE EXISTING STAIRS AND ARE FOR PRICING PURPOSES ONLY. CONTRACTOR SHALL FIELD VERIFY THAT THE DIMENSIONS MATCH EXISTING.
  - STEEL GRATING PER PLAN AND STRUCTURAL GENERAL NOTES. GRATING ATTACHMENT REQUIREMENTS PER STRUCTURAL GENERAL NOTES.
  - TOP OF STEEL ELEVATIONS ARE RELATIVE AND BASED ON THE FIELD MEASURED ELEVATIONS AT THE LANDINGS.
  - HANDRAILS AND GUARDRAILS NOT SHOWN ON PLAN FOR CLARITY. GUARDRAIL LOCATION AND EXTENTS TO MATCH EXISTING HANDRAILS PER 7 & 8/S2.2.

**PLAN NOTES:**

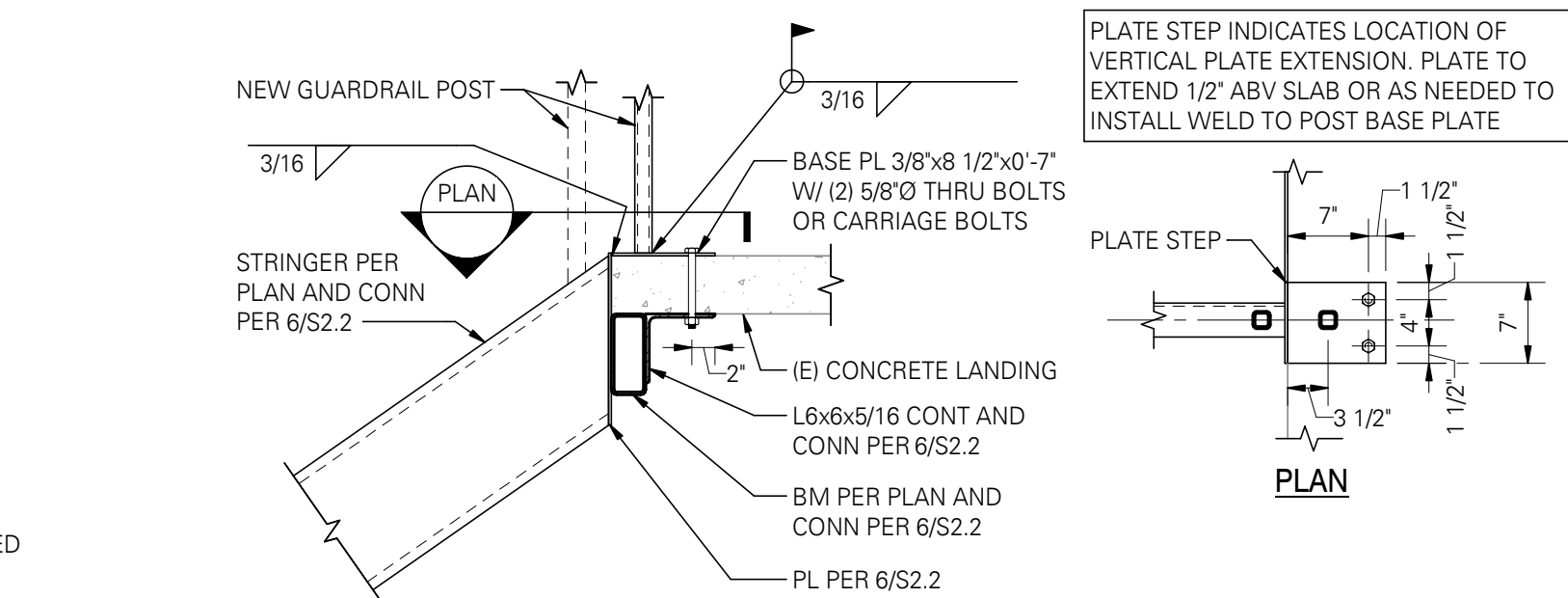
(E)	EXISTING
(N)	NEW
(V)	VERIFY TO MATCH (E) DIMENSION IN FIELD
	PRECAST CONCRETE PLANK OR METAL GRATING SPAN DIRECTION
	TOP OF CONCRETE ELEVATION
	TOP OF FOOTING ELEVATION
	TOP OF CHANNEL ELEVATION



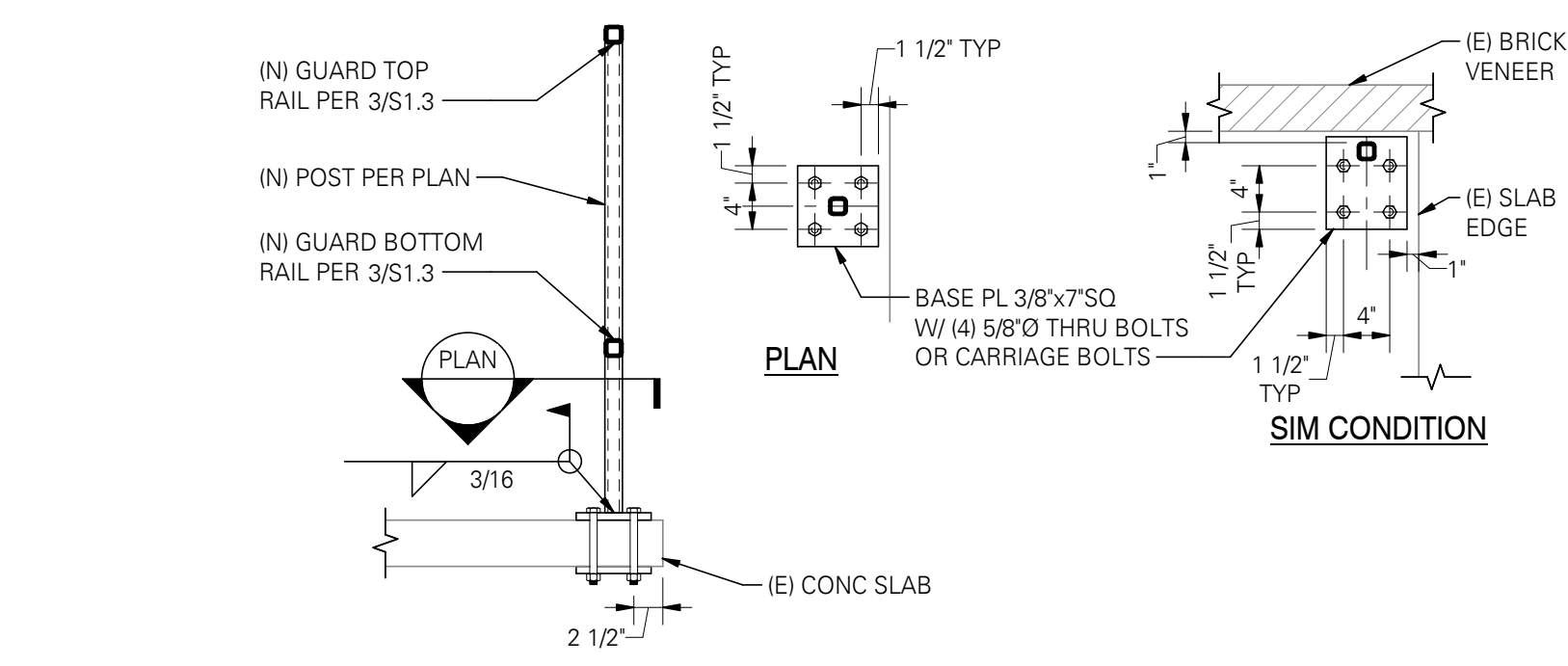
**4 (N) GUARDRAIL AT (E) STL COL - GRID 'H'**  
SCALE: 3/4" = 1'-0"



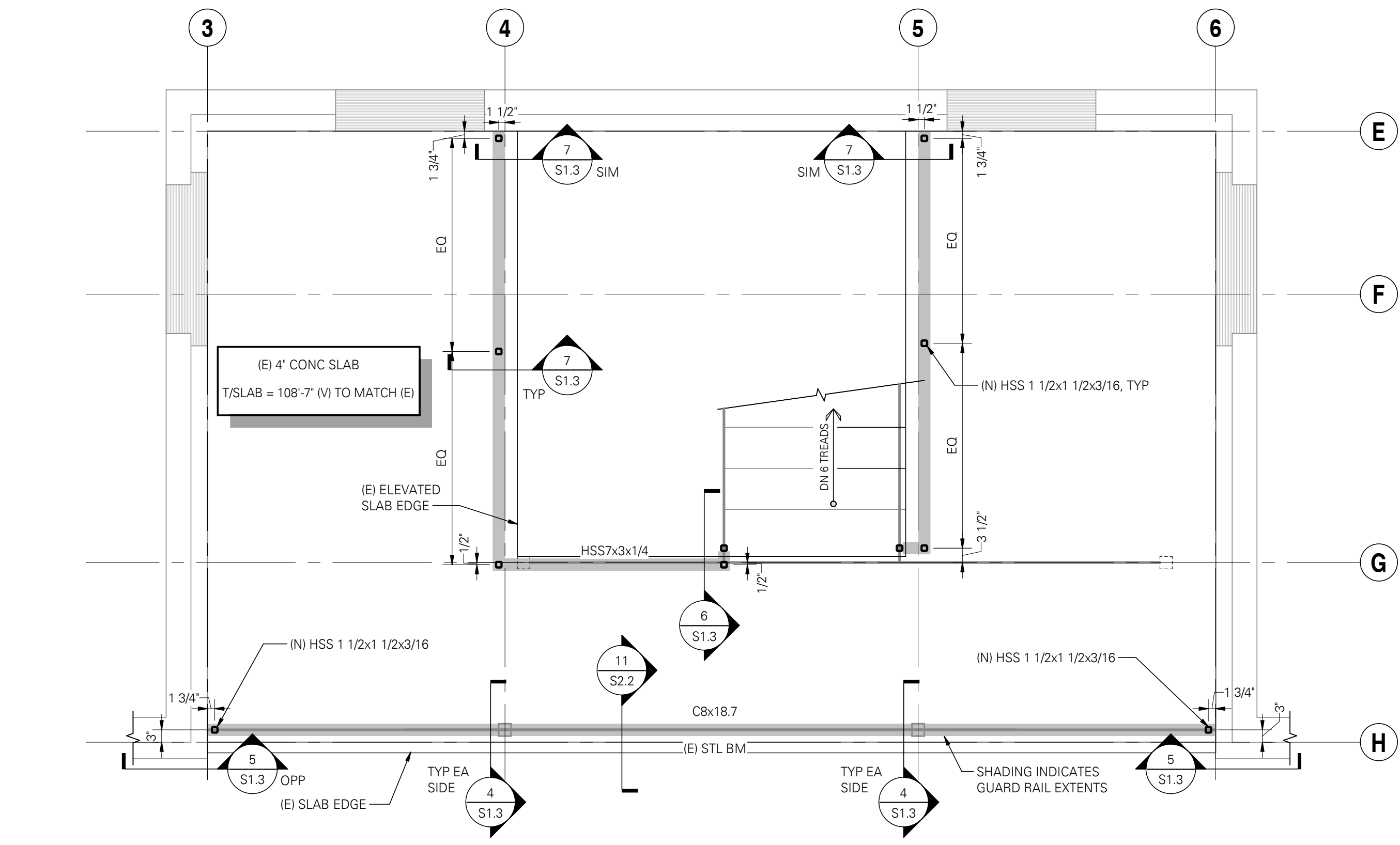
**5 (N) GUARDRAIL AND POST AT (E) WALL - AT GRID 'H'**  
SCALE: 3/4" = 1'-0"



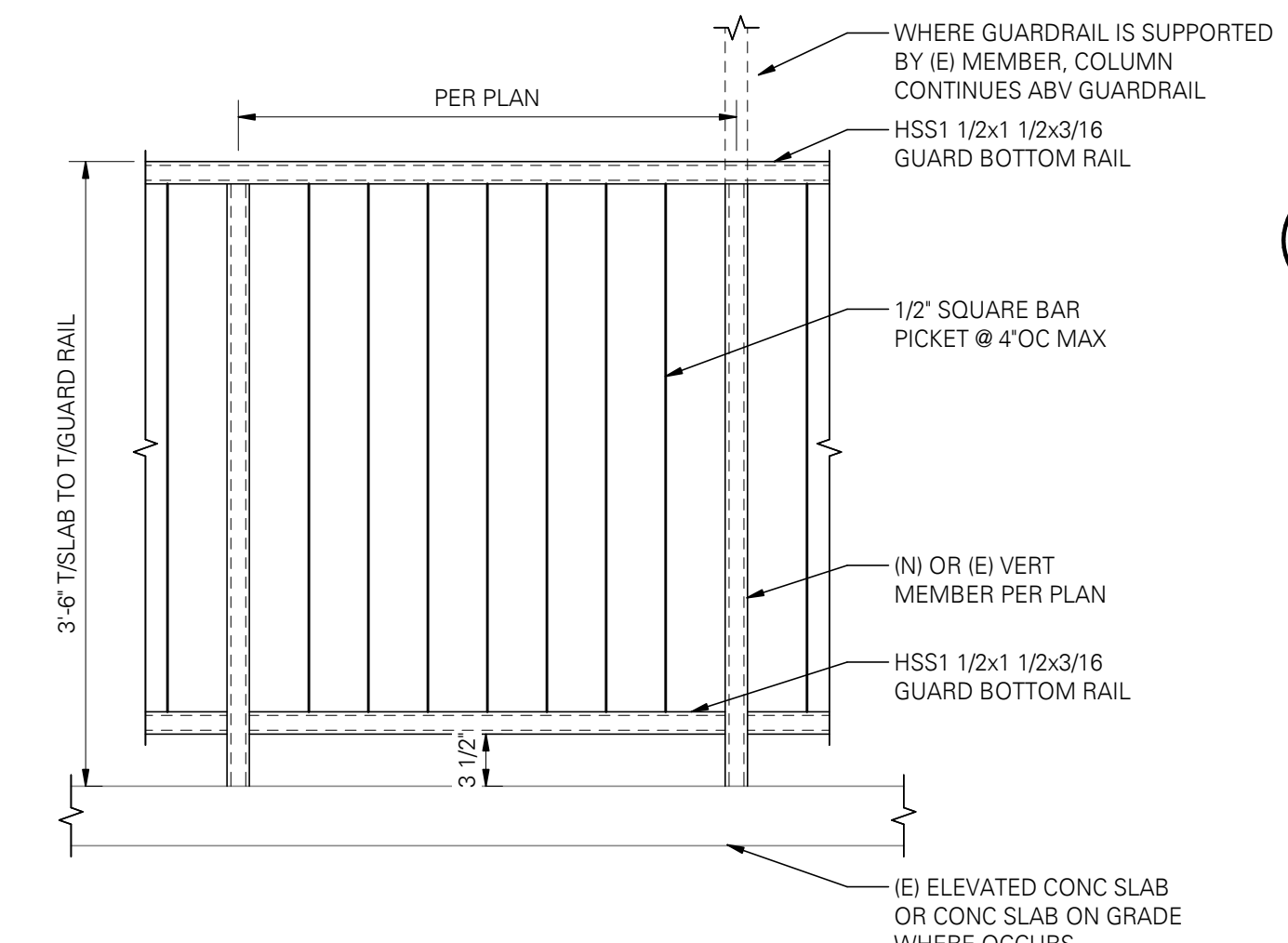
**6 (N) GUARDRAIL AND POST AT (N) STRINGER**  
SCALE: 3/4" = 1'-0"



**7 TYPICAL GUARDRAIL POST ATTACHMENT AT (E) ELEVATED SLAB - GRIDS 4 AND 5**  
SCALE: 3/4" = 1'-0"

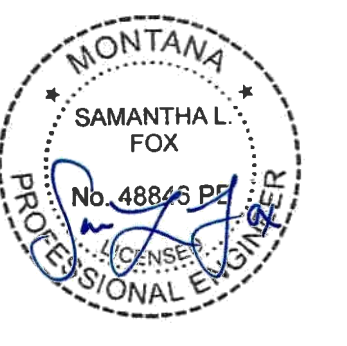


**2 ALTERNATE - UPPER LANDING GUARDRAIL REPLACEMENT - MIDDLE STAIR**  
SCALE: 1/2" = 1'-0"

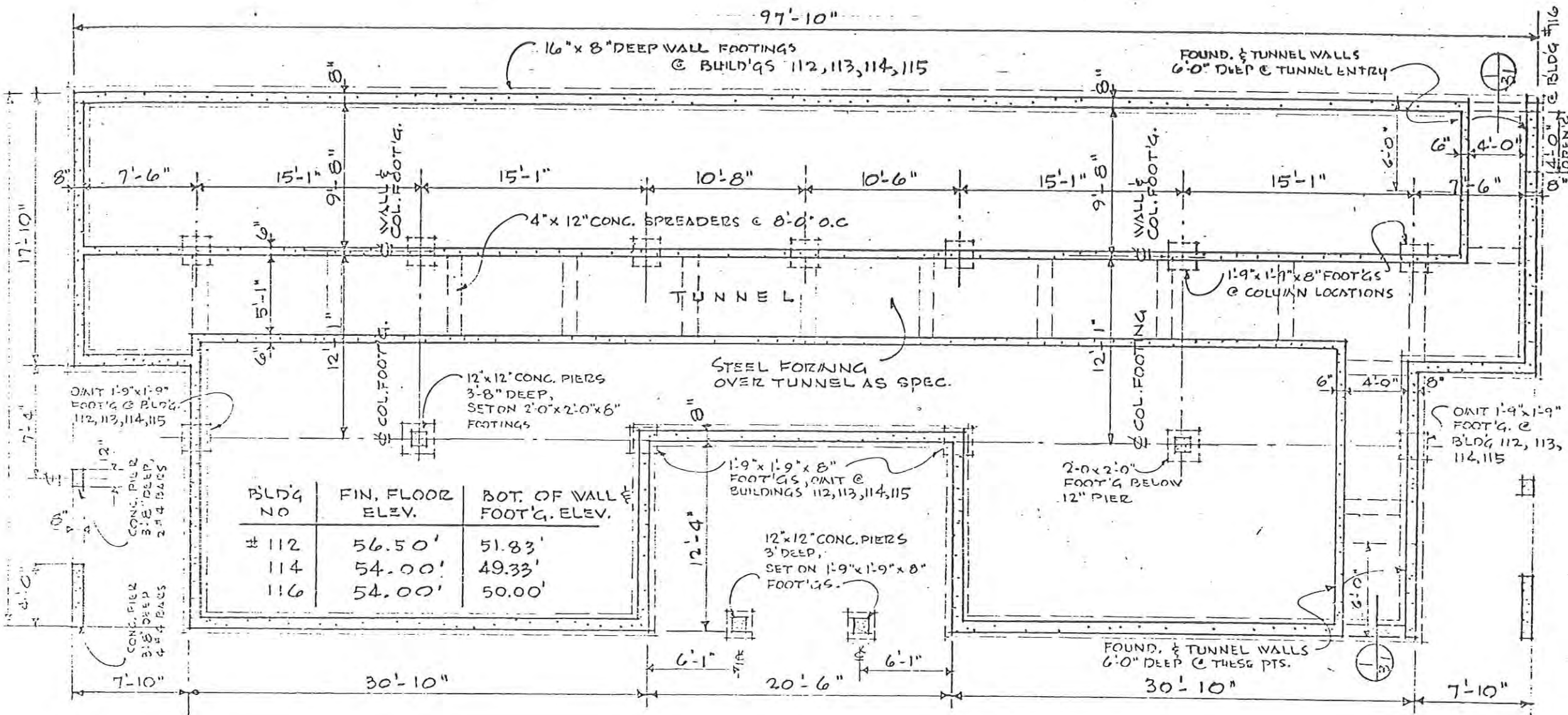


**3 TYPICAL GUARDRAIL**  
SCALE: 1" = 1'-0"

REV.	DESCRIPTION	DATE

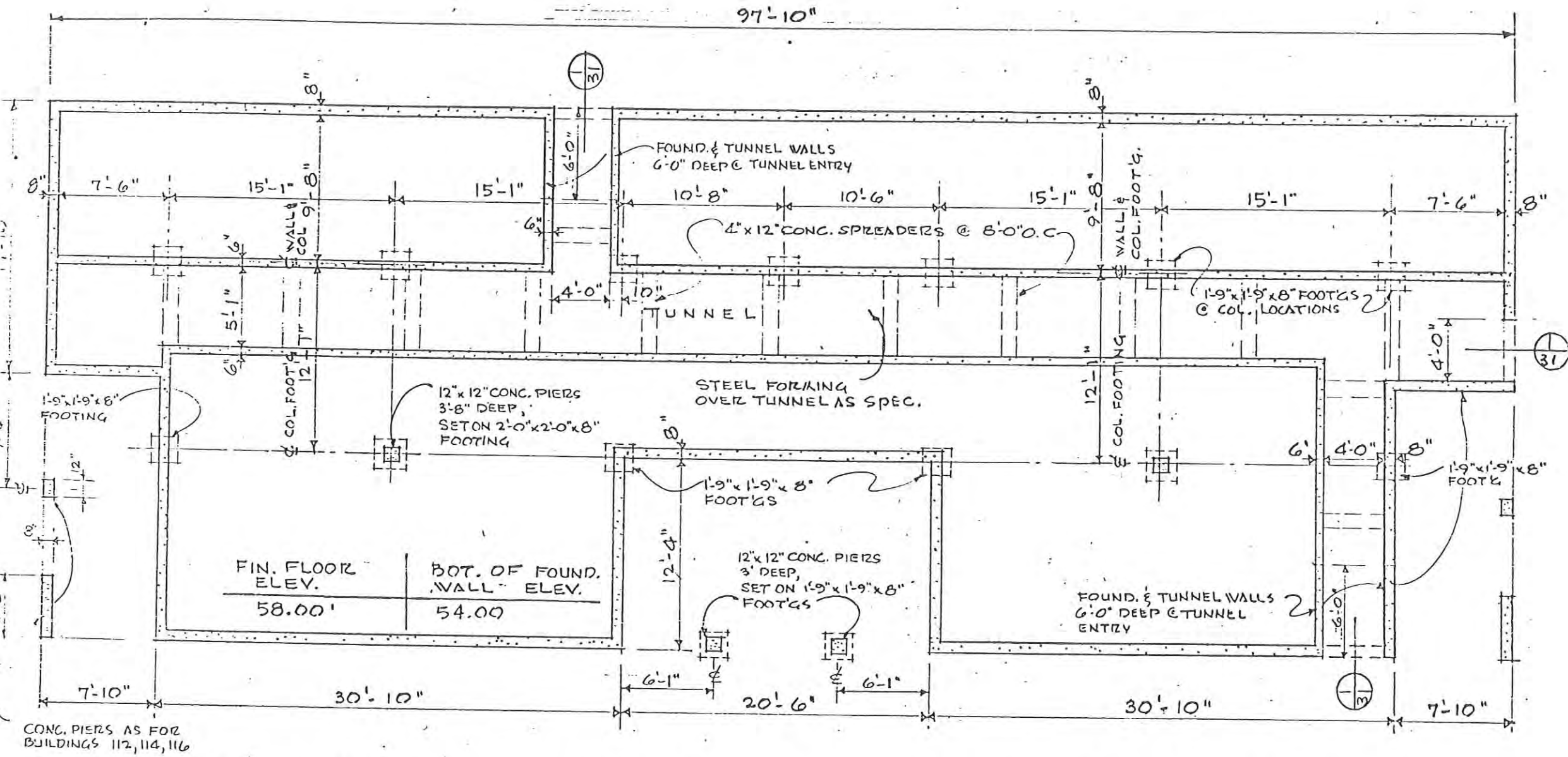


# EXHIBIT 1 - ORIGINAL FOUNDATION PLAN



FOOTING & FOUND. PLAN @ BLD'GS # 112, 114, 116  
 SCALE 1/8" = 1'-0"

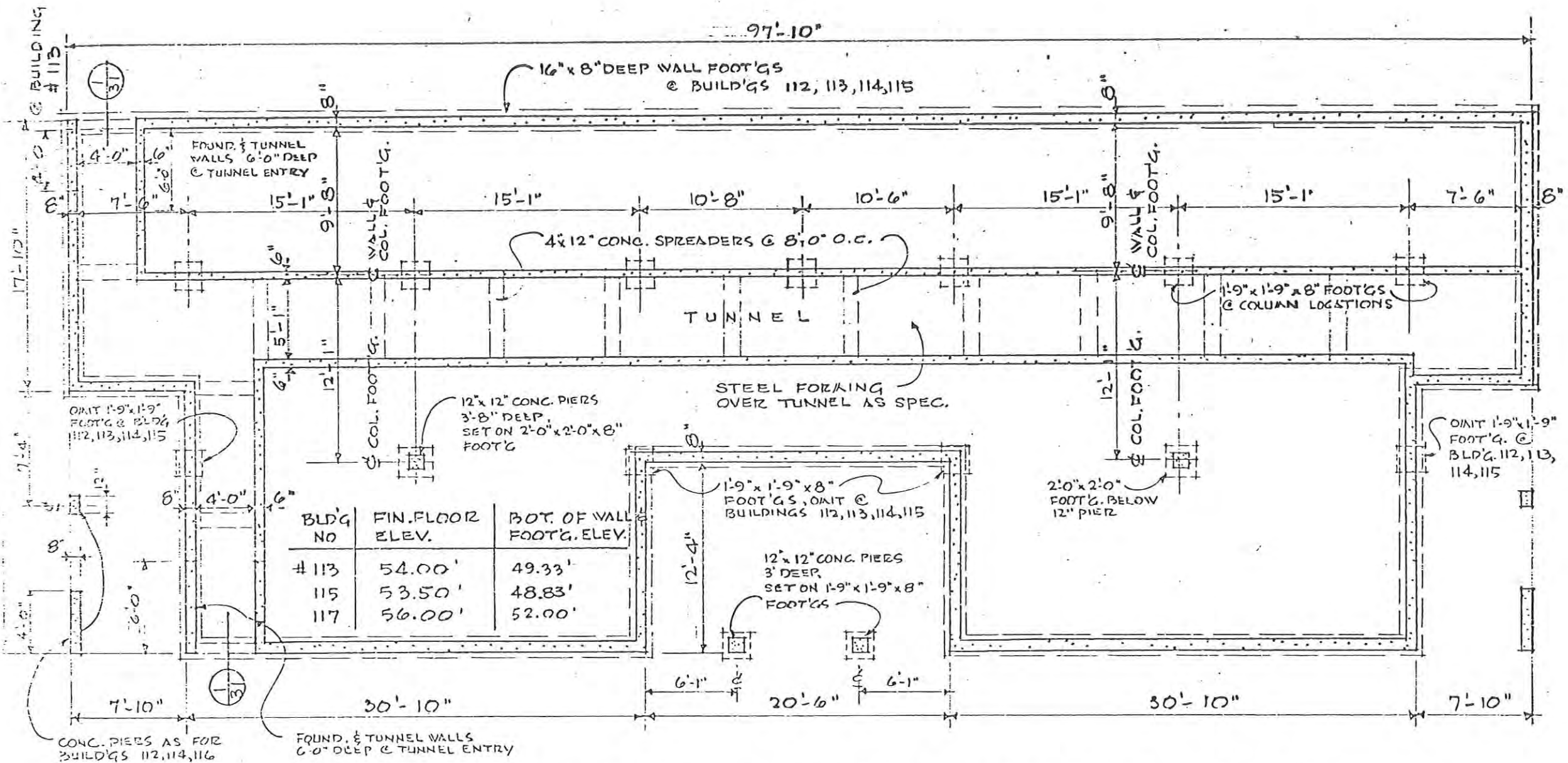
# EXHIBIT 1 - ORIGINAL FOUNDATION PLAN



**FOOTING & FOUNDATION PLAN @ BLD'G # 118**  
 SCALE 1/8" = 1'-0"

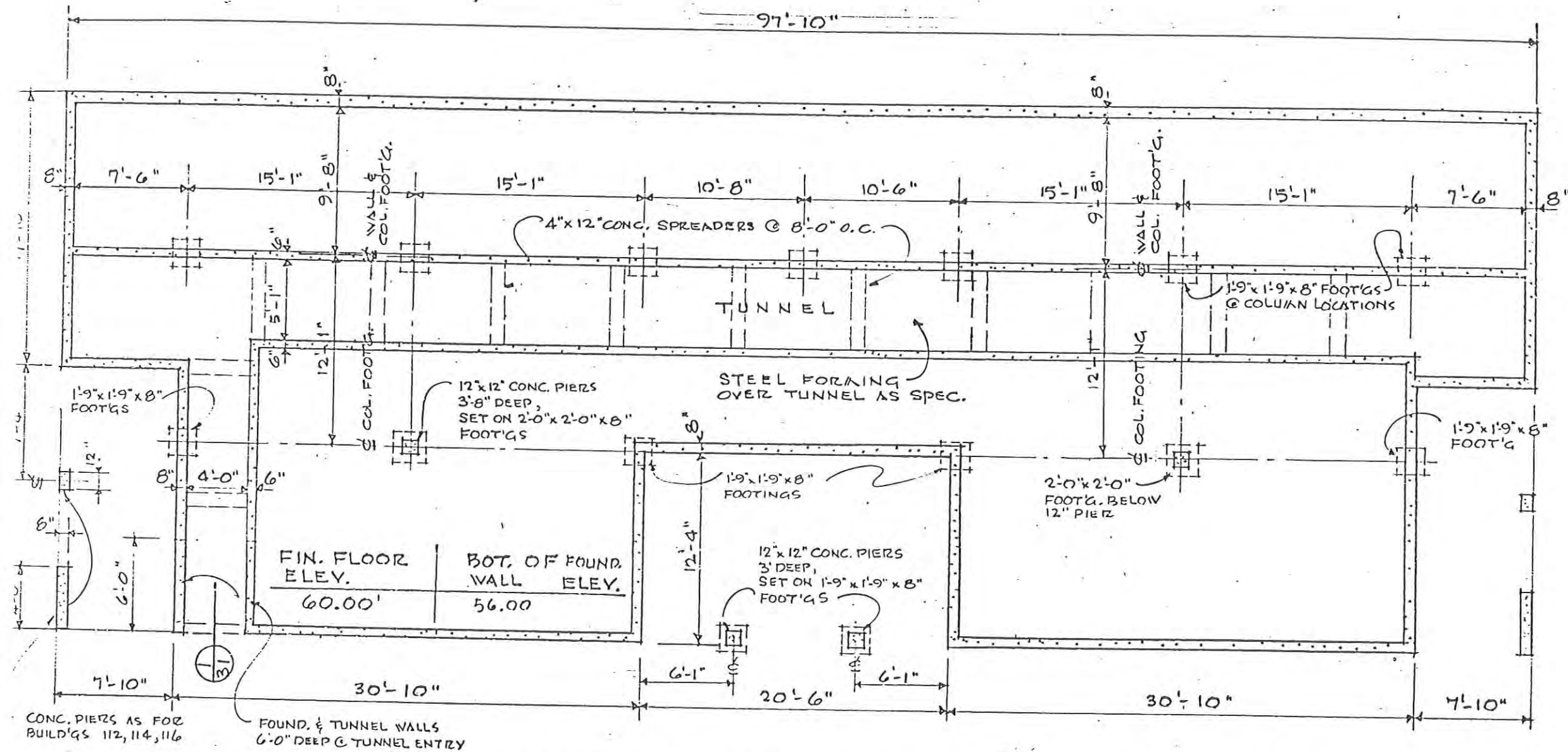


# EXHIBIT 1 - ORIGINAL FOUNDATION PLAN



FOOTING & FOUNDATION PLAN @ BLD'G # 113, 115, 117  
 SCALE 1/8" = 1'-0"

# EXHIBIT 1 - ORIGINAL FOUNDATION PLAN



**FOOTING & FOUNDATION PLAN @ BLD'G # 119**  
 SCALE 1/8" = 1'-0"