

UNIVERSITY STUDENT APARTMENTS

FLOORING REPLACEMENT 2023-2024

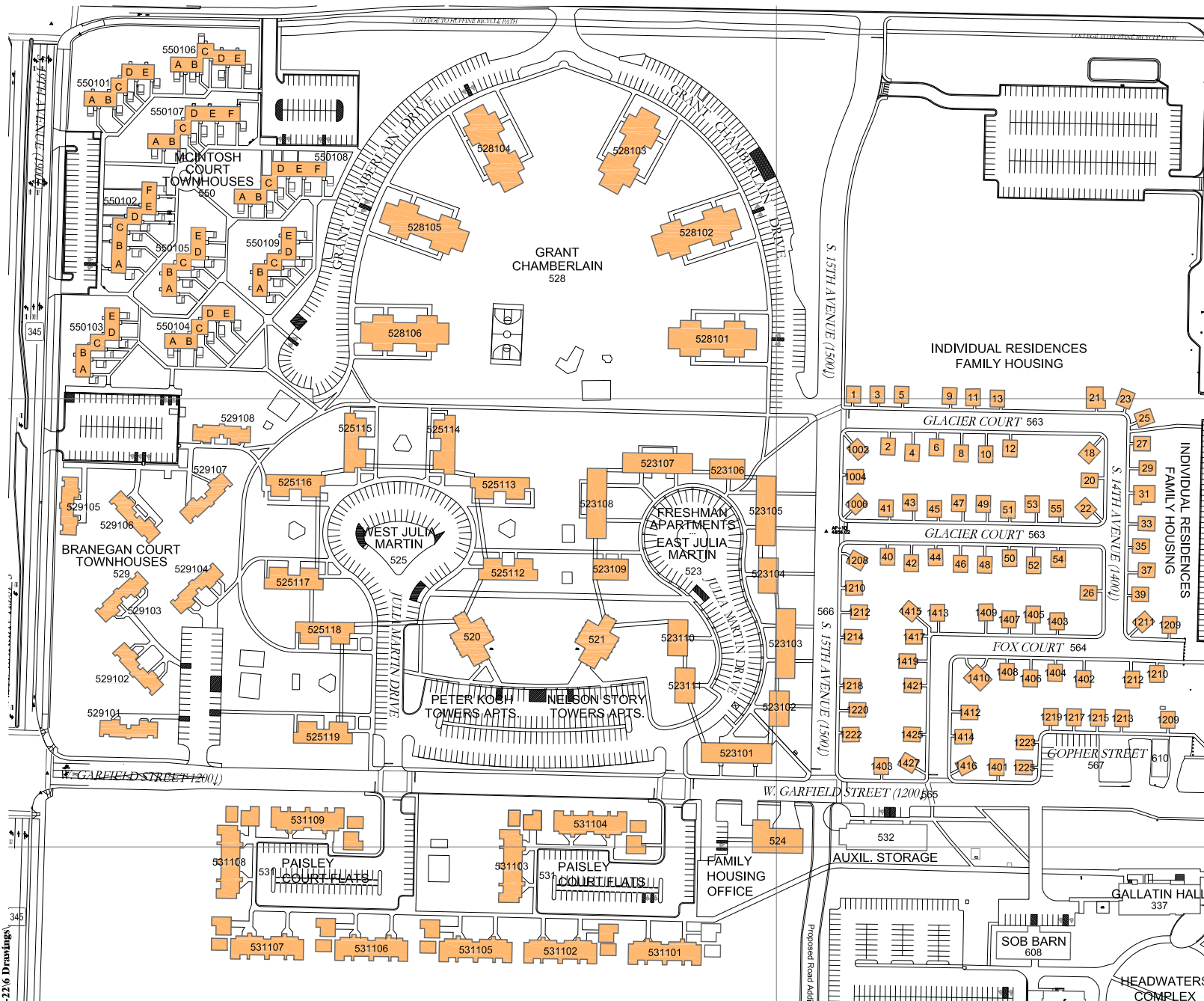
REV.	DESCRIPTION	DATE

GENERAL PROJECT NOTES

- ALL CONSTRUCTION AND CONSTRUCTION METHODS TO BE IN ACCORDANCE WITH APPLICABLE CODES, GOVERNMENTAL AGENCIES, AND LOCAL DESIGN CRITERIA INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING: INTERNATIONAL BUILDING CODE, 2009 EDITION
- ANY AMBIGUITIES OR DISCREPANCIES DISCOVERED BY THE USE OF THESE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE MSU PROJECT MANAGER IMMEDIATELY.
- CHANGES OR DEVIATIONS FROM THE CONTRACT DOCUMENTS MADE WITHOUT THE WRITTEN CONSENT OF THE OWNER ARE UNAUTHORIZED. COORDINATE NECESSARY MODIFICATIONS WITH THE MSU PROJECT MANAGER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND SCHEDULING OF ALL REQUIRED INSPECTIONS DURING THE COURSE OF THE CONSTRUCTION PROJECT. PARTIES REQUIRED TO ATTEND SHOULD BE GIVEN 48 HOURS MINIMUM NOTICE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY AND SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO ENSURE THE HEALTH AND SAFETY OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS, BUILDING OCCUPANTS, PEDESTRIANS AT OR NEAR THE CONSTRUCTION SITE OR ACCESS ROUTES, AND OF ALL OTHER PERSONS IN AREAS AFFECTED BY THE CONTRACTOR'S CONSTRUCTION ACTIVITIES.

GENERAL SITE / STAGING NOTES

- THE CONTRACTOR SHALL MINIMIZE INTERFERENCE WITH ADJOINING STREETS, SIDEWALKS, PARKING AREAS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL NOT BLOCK STREETS, SIDEWALKS, OR ACCESS TO DUMPSTER LOCATIONS AT ANY TIME.
- THE CONTRACTOR SHALL PROTECT EXISTING SITE IMPROVEMENTS AND LANDSCAPING FROM DAMAGE CAUSED BY CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL RESTORE EXISTING SITE IMPROVEMENTS AND LANDSCAPING DAMAGED BY CONSTRUCTION OPERATIONS TO CURRENT MSU STANDARDS OR AS DIRECTED BY THE MSU PROJECT MANAGER PRIOR TO SUBSTANTIAL COMPLETION.
- THE CONTRACTOR SHALL PROTECT EXISTING BUILDINGS FROM DAMAGE, CONTAMINATION, AND SOILING CAUSED BY CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL KEEP BUILDING ENTRANCES, CORRIDORS, AND STAIRWELLS CLEAR OF CONSTRUCTION MATERIALS, TOOLS, AND EQUIPMENT AT ALL TIMES. CONTRACTOR SHALL RESTORE EXISTING BUILDINGS DAMAGED BY CONSTRUCTION OPERATIONS AS DIRECTED BY THE MSU PROJECT MANAGER PRIOR TO SUBSTANTIAL COMPLETION.
- THE CONTRACTOR SHALL ACCESS THE SITE FROM COLLEGE, SOUTH NINETEENTH, AND GARFIELD STREETS.
- ALL CONTRACTOR VEHICLES PARKED ON CAMPUS, INCLUDING VEHICLES OWNED BY EMPLOYEES OF THE CONTRACTOR, SHALL BE PARKED IN DESIGNATED PARKING AREAS ONLY. DELIVERY VEHICLES SERVING THE PROJECT MUST BE MOVED TO A DESIGNATED PARKING AREA OR REMOVED FROM CAMPUS IMMEDIATELY AFTER LOADING / UNLOADING. ALL VEHICLES PARKED IN DESIGNATED PARKING AREAS MUST HAVE A VALID MSU PARKING PERMIT. PERMITS CAN BE PURCHASED FROM THE UNIVERSITY POLICE (994-2121). VIOLATORS OF MSU VEHICLE REGULATIONS MAY BE TICKETED AND / OR TOWED. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- CONSTRUCTION STAGING AREA: SHOULD THE CONTRACTOR REQUIRE ON-SITE CONSTRUCTION STAGING, AN AREA FOR THIS PURPOSE WILL BE PROVIDED. THE CONTRACTOR MAY BE REQUIRED TO FENCE THE STAGING AREA TO PREVENT ACCESS FROM UNAUTHORIZED PERSONNEL. THE CONTRACTOR SHALL RESTORE AREAS USED FOR CONSTRUCTION STAGING THAT ARE DAMAGED DURING THE COURSE OF CONSTRUCTION OPERATIONS TO CURRENT MSU STANDARDS OR AS DIRECTED BY THE MSU PROJECT MANAGER PRIOR TO SUBSTANTIAL COMPLETION.



LEGEND

THE CONTRACTOR SHALL LIMIT HIS OPERATIONS TO THE AREAS DEFINED BELOW. AREAS BEYOND THESE LIMITS ARE NOT IN CONTRACT (NIC) AND SHALL NOT BE USED BY THE CONTRACTOR FOR ANY PURPOSE DURING THE COURSE OF CONSTRUCTION.

CONTRACT LIMITS (CONSTRUCTION SCOPE OF WORK)



INDEX OF DRAWINGS

- CVR SITE PLAN, GENERAL PROJECT NOTES, GENERAL SITE / STAGING NOTES, LEGEND, INDEX OF DRAWINGS
- BRANEGAN COURT - FLOOR PLANS, NOTES
 - KOCH / STORY TOWER - FLOOR PLANS, NOTES
 - JULIA MARTIN EAST - FLOOR PLANS, NOTES
 - JULIA MARTIN WEST - FLOOR PLANS, NOTES
 - PAISLEY COURT - FLOOR PLANS, NOTES
 - MCINTOSH COURT - FLOOR PLANS, NOTES
 - WESTSIDE HOUSES - FLOOR PLANS, NOTES
 - GRANT CHAMBERLAIN - FLOOR PLANS, NOTES

FLOORING BASIS OF DESIGN, TO MATCH EXISTING

- CARPET TILE: SHAW "CHALET", COLOR TO BE SELECTED BY OWNER.
- LUXURY VINYL TILE: SHAW "STRATUM", WOOD PATTERN AND COLOR TO BE SELECTED BY OWNER

DRAWN BY:	ASB	
REVIEWED BY:		
REV.	DESCRIPTION	DATE

PPA#23-0715

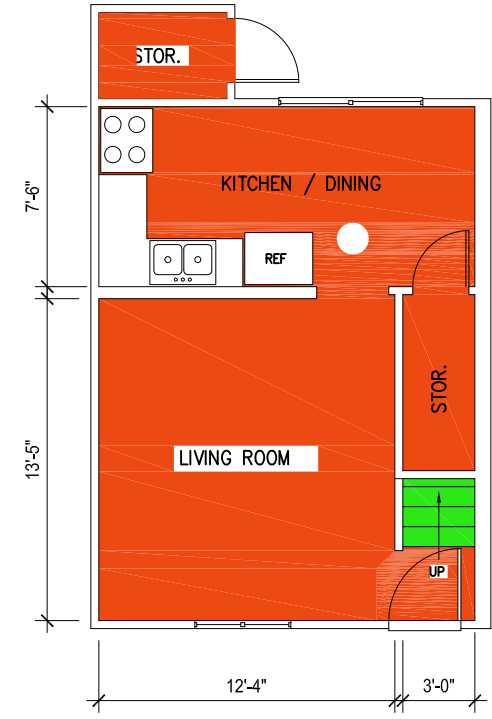
SHEET TITLE
BRANEGAN COURT

SHEET
A1

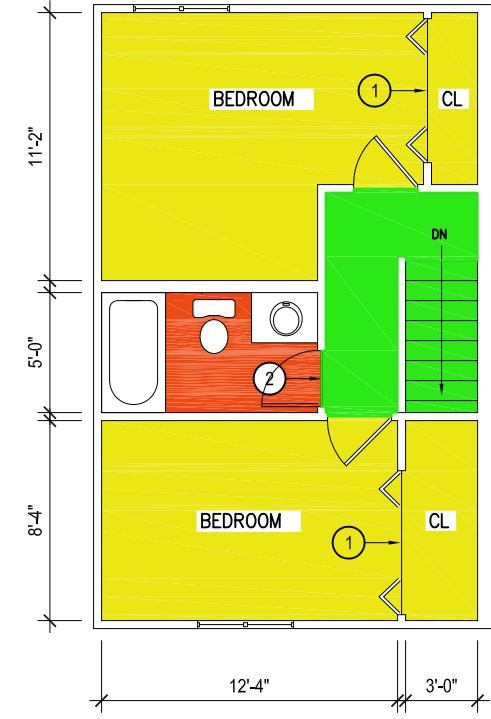
DATE
10-01-21



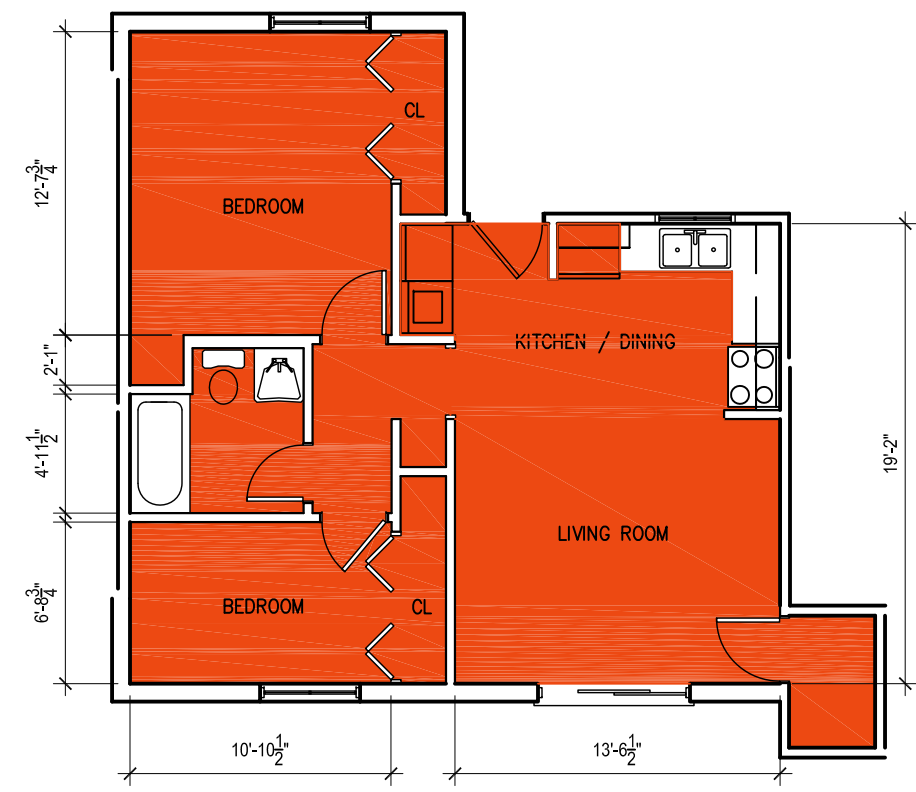
1 2-BEDROOM FLAT
SCALE: 1/8" = 1'



2 TOWNHOUSE 1ST LEVEL
SCALE: 1/8" = 1'



3 TOWNHOUSE 2ND LEVEL
SCALE: 1/8" = 1'



4 ACCESSIBLE FLAT
SCALE: 1/8" = 1'

CONSTRUCTION NOTES

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- CONTRACTOR SHALL DISPOSE OF ALL DEMOLISHED MATERIALS IN ACCORDANCE WITH LOCAL AND STATE LAWS AND REGULATIONS.
- PLAN DIMENSIONS ARE APPROXIMATE AND INTENDED FOR ESTIMATING PURPOSES ONLY. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL REMOVE EXISTING FLOORING COMPLETELY, INCLUDING CUSHION (WHERE OCCURRING), ACCESSORIES AND RELATED COMPONENTS, FROM ALL AREAS INDICATED TO RECEIVE NEW FLOORING.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLOORING AS SPECIFIED IN ALL AREAS INDICATED TO RECEIVE NEW FLOORING. *WHEN ALTERNATE OF CARPET IS SELECTED PROVIDE AND INSTALL TRANSITION AT SHOWN LOCATIONS.*
- ALL WET EDGES MUST HAVE CLEAR SILICONE CAULK TO ENSURE NO WATER MAY PERMEATE THE UNDERSIDE OF FLOORING.

GENERAL NOTES

CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BID SUBMITTAL AND TO NOTIFY MSU PROJECT MANAGER IMMEDIATELY IN WRITING OF ANY DISCREPANCIES.

KEYED NOTES

- RESET EXISTING BI-FOLD DOOR TRACK AS REQUIRED. REMOVE EXISTING FLOORING WHERE IT EXTENDS UNDER THE TRACK. INSTALL FLOORING UNDER TRACK BEFORE REINSTALLING TRACK.
- TRANSITION STRIP. PROVIDE TRANSITION STRIP BETWEEN ALL DISSIMILAR FLOORING MATERIALS WHETHER KEYED OR NOT.

LEGEND

- INDICATES AREAS OF LUXURY VINYL TILE. ALTERNATE ONE: AREA TO RECEIVE CARPET RATHER THAN LVT.
- INDICATES AREA OF LUXURY VINYL TILE
- INDICATES AREA OF BROADLOOM CARPET

REV.	DESCRIPTION	DATE



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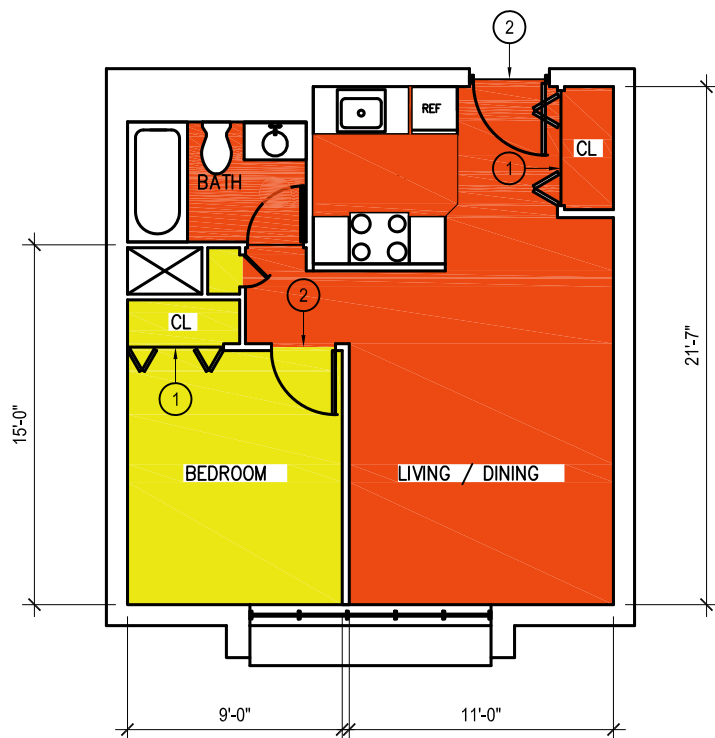
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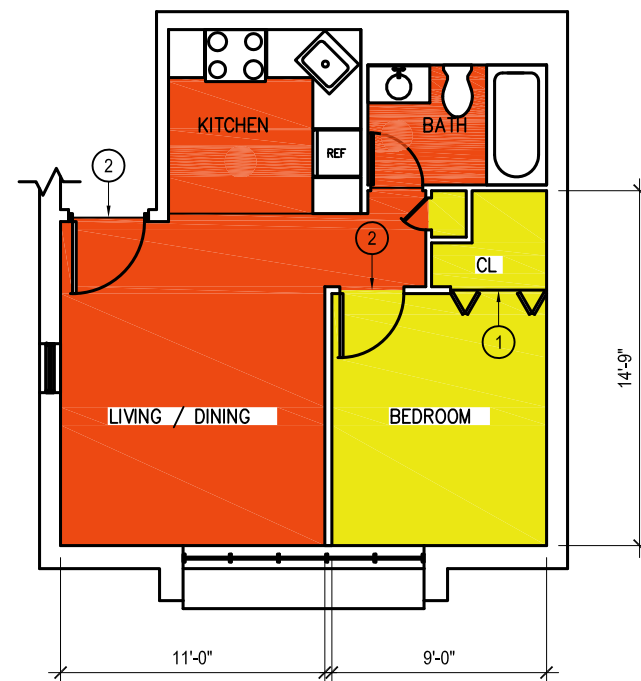
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1 KOCH / STORY TOWER
1-BEDROOM INTERIOR APT

SCALE: 1/8" = 1'



2 KOCH / STORY TOWER
1-BEDROOM CORNER APT

SCALE: 1/8" = 1'



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CONSTRUCTION NOTES

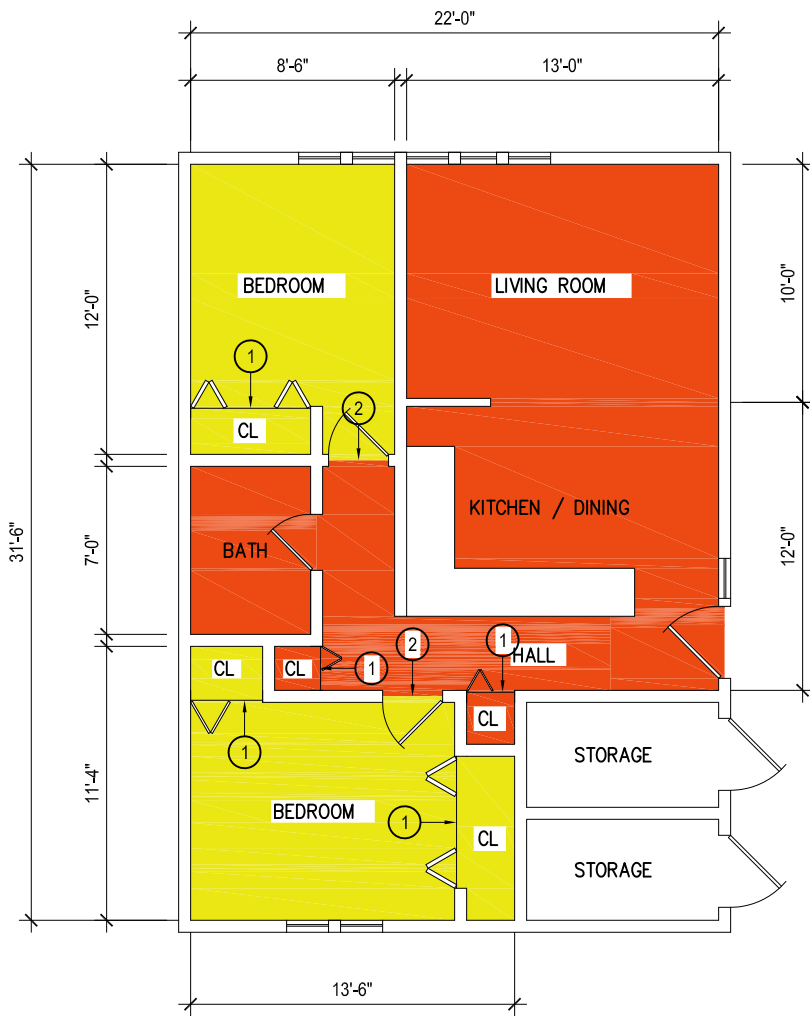
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-  INDICATES AREA OF LUXURY VINYL TILE

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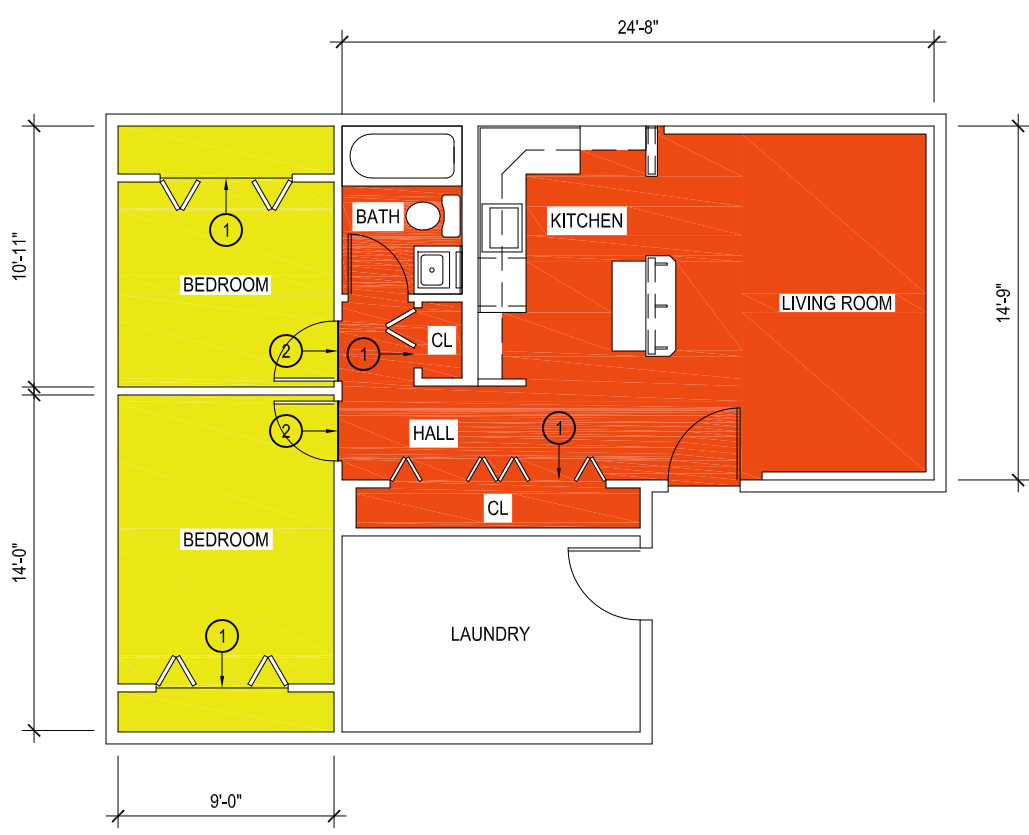
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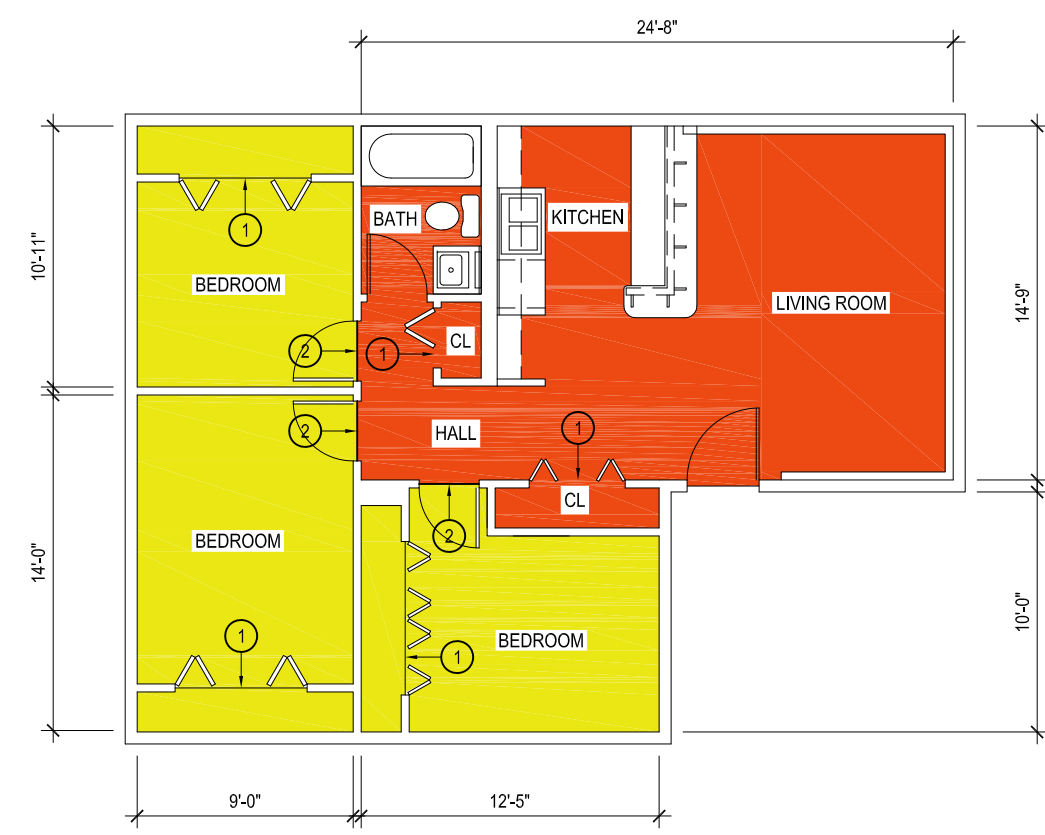
1 JULIA MARTIN EAST
2-BEDROOM APT
SCALE: 1/8" = 1'



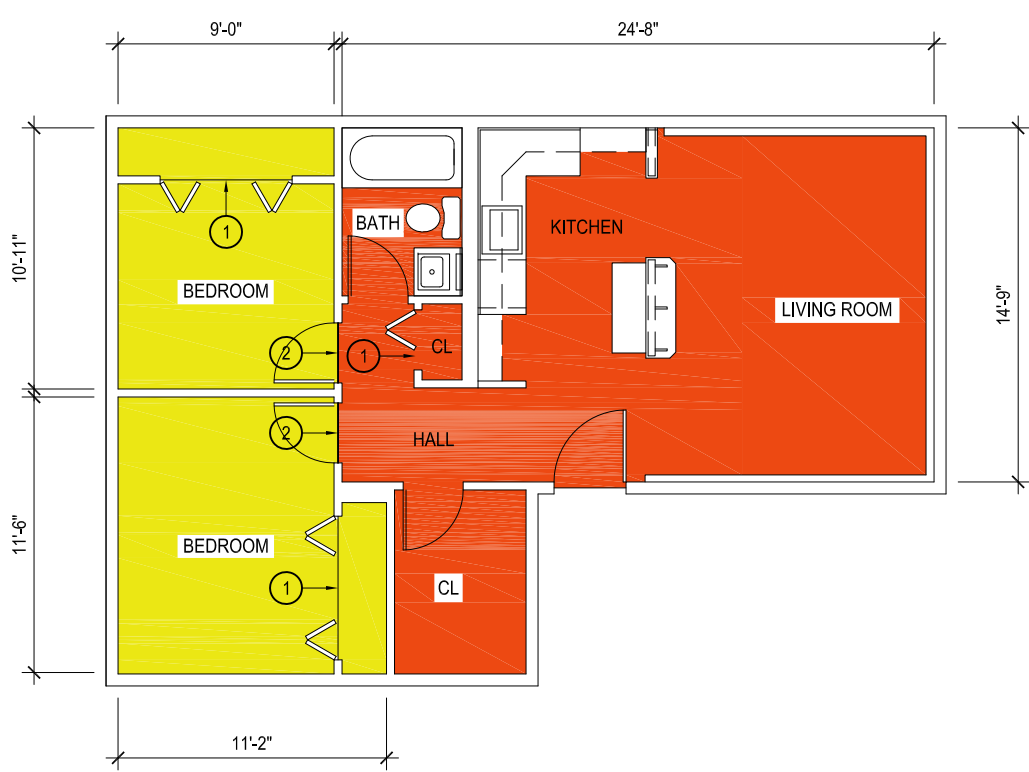
2 JULIA MARTIN EAST
3-BEDROOM APT
SCALE: 1/8" = 1'



2 JULIA MARTIN WEST
2-BEDROOM APT
SCALE: 1/8" = 1'



3 JULIA MARTIN WEST
3-BEDROOM APT
SCALE: 1/8" = 1'



1 JULIA MARTIN WEST
2-BEDROOM APT. W/WALK-IN CLOSET
SCALE: 1/8" = 1'

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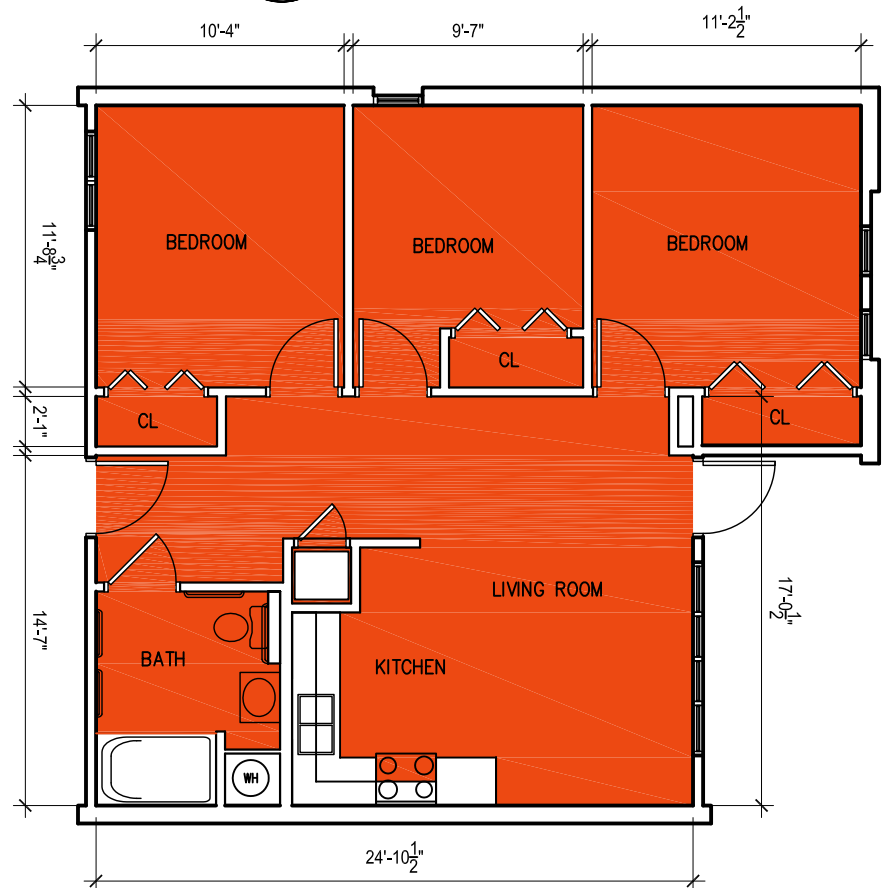
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1 3-BEDROOM APT
SCALE: 1/8" = 1'



2 2-BEDROOM APT.
SCALE: 1/8" = 1'



3 ACCESSIBLE UNIT
SCALE: 1/8" = 1'

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- INDICATES AREAS OF LUXURY VINYL TILE. *ALTERNATE ONE: AREA TO RECEIVE CARPET RATHER THAN LVT.*
- INDICATES AREA OF LUXURY VINYL TILE

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Sep 28, 2021 - 9:29am - 21-0140_A5_Paisley Court.dwg
 E:\21-0000\21-0140 University Services Apartments Flooring FY 21-22\6 Drawings\



UNIVERSITY STUDENT APARTMENTS
 FLOORING REPLACEMENT

PLANNING,
 DESIGN & CONSTRUCTION
 MONTANA STATE UNIVERSITY
 BOZEMAN, MONTANA
 PHONE: 406.994.5413 FAX: 406.994.5665

DRAWN BY: ASB		
REVIEWED BY:		
REV.	DESCRIPTION	DATE

PPA#23-0715

SHEET TITLE
PAISLEY COURT

SHEET
A5

DATE
10-01-21

DRAWN BY:	ASB	
REVIEWED BY:		
REV.	DESCRIPTION	DATE

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PPA#23-0715

SHEET TITLE
MCINTOSH COURT

SHEET
A6

DATE
10-01-21




GENERAL NOTES

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CONSTRUCTION NOTES

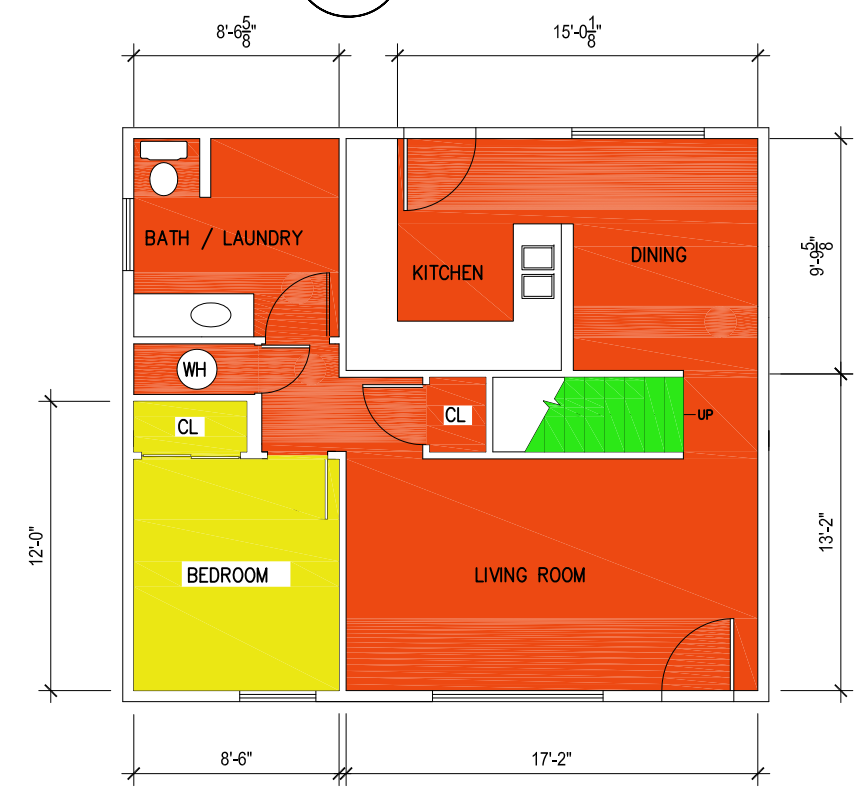
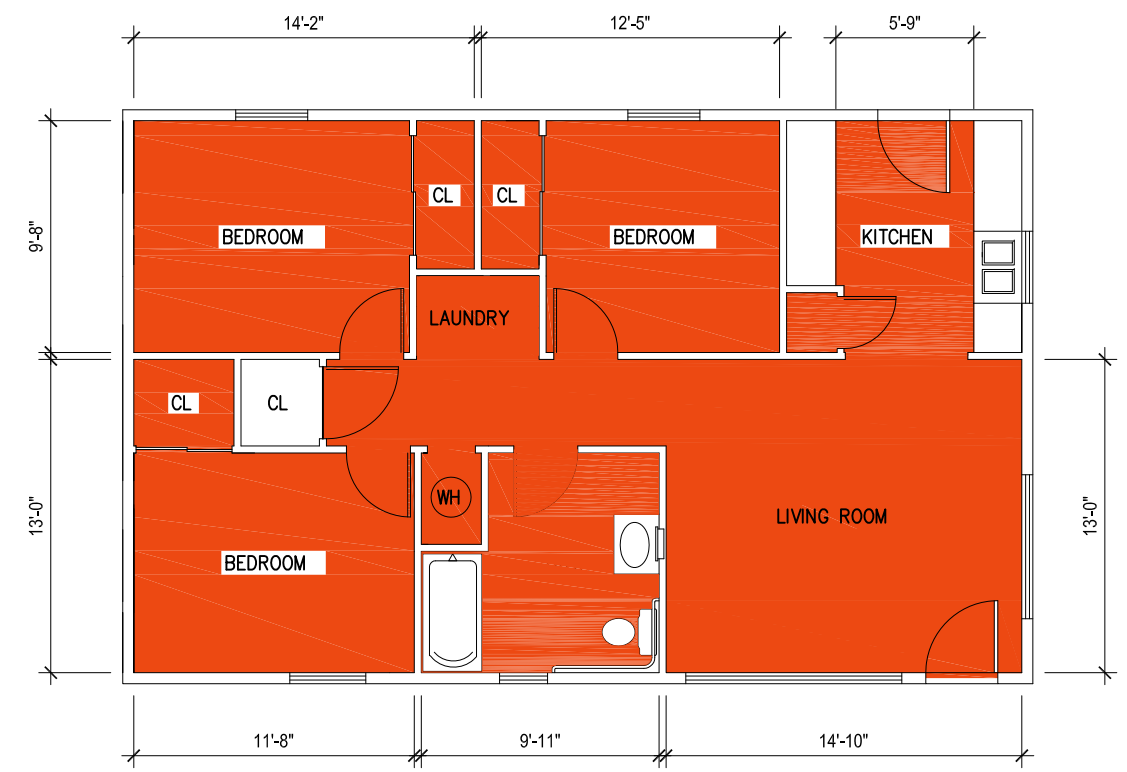
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-  INDICATES AREA OF LUXURY VINYL TILE
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KEYED NOTES

- ① TRANSITION STRIP. PROVIDE TRANSITION STRIP BETWEEN ALL DISSIMILAR FLOORING MATERIALS WHETHER KEYED OR NOT.



DRAWN BY:		
REVIEWED BY:		
REV.	DESCRIPTION	DATE

PPA#23-0715

SHEET TITLE
WESTSIDE
HOUSES A AND B

SHEET
A7

DATE
10-01-21

CONSTRUCTION DOCUMENTS



GENERAL NOTES

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CONSTRUCTION NOTES

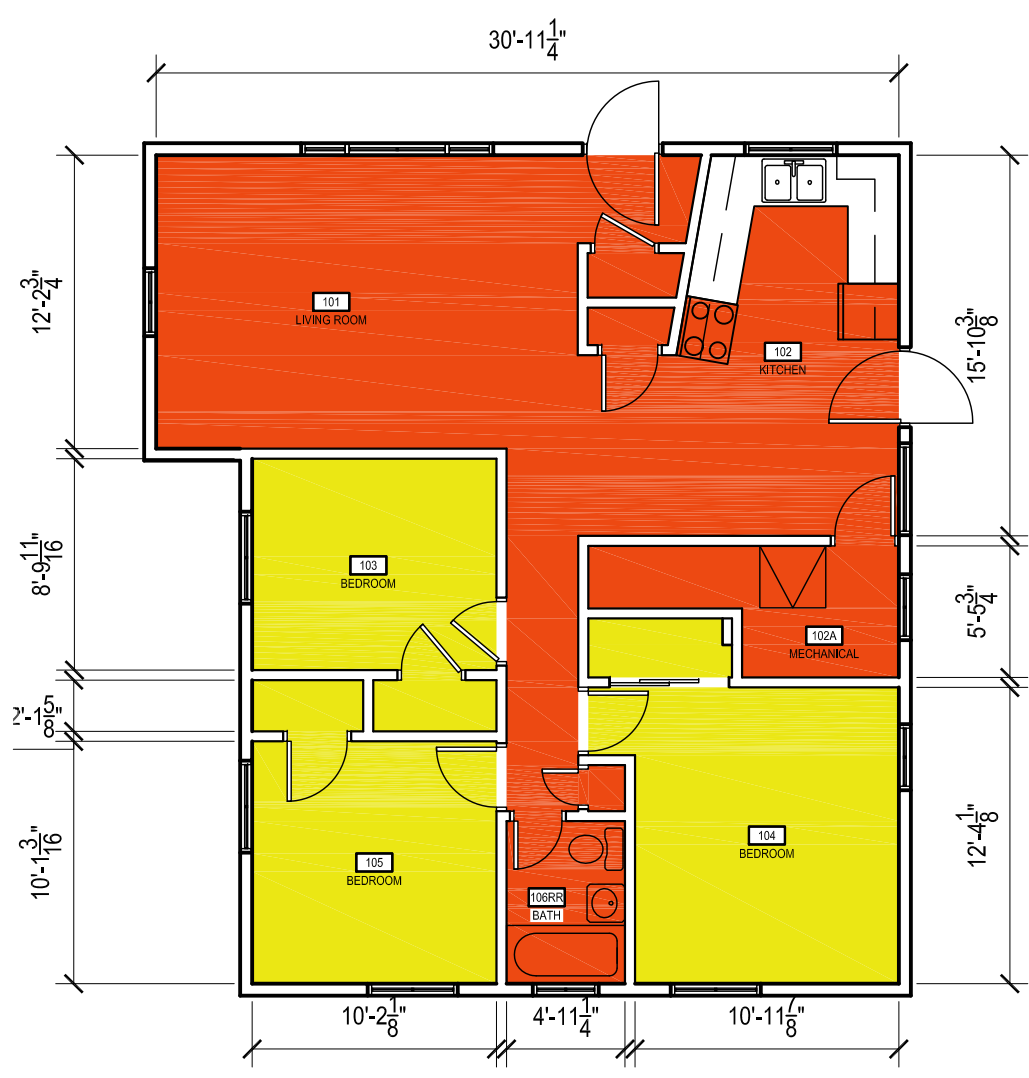
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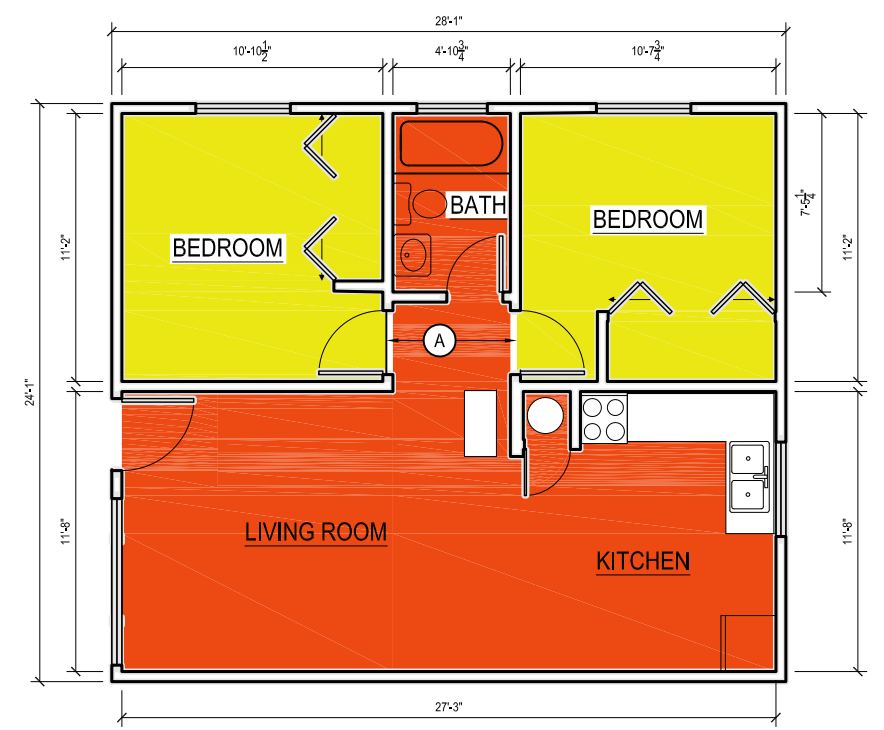
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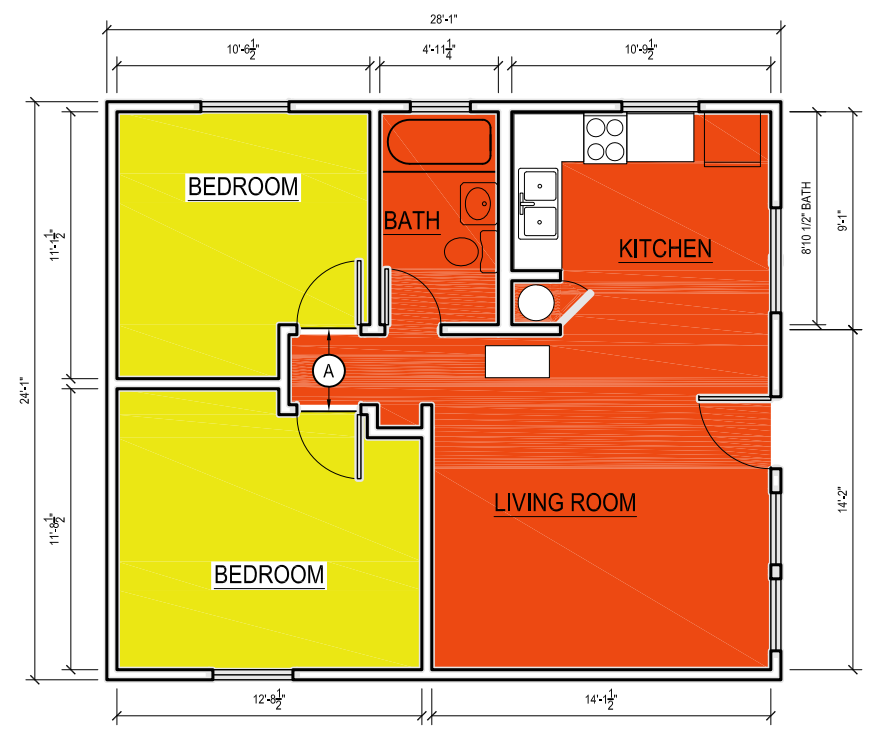
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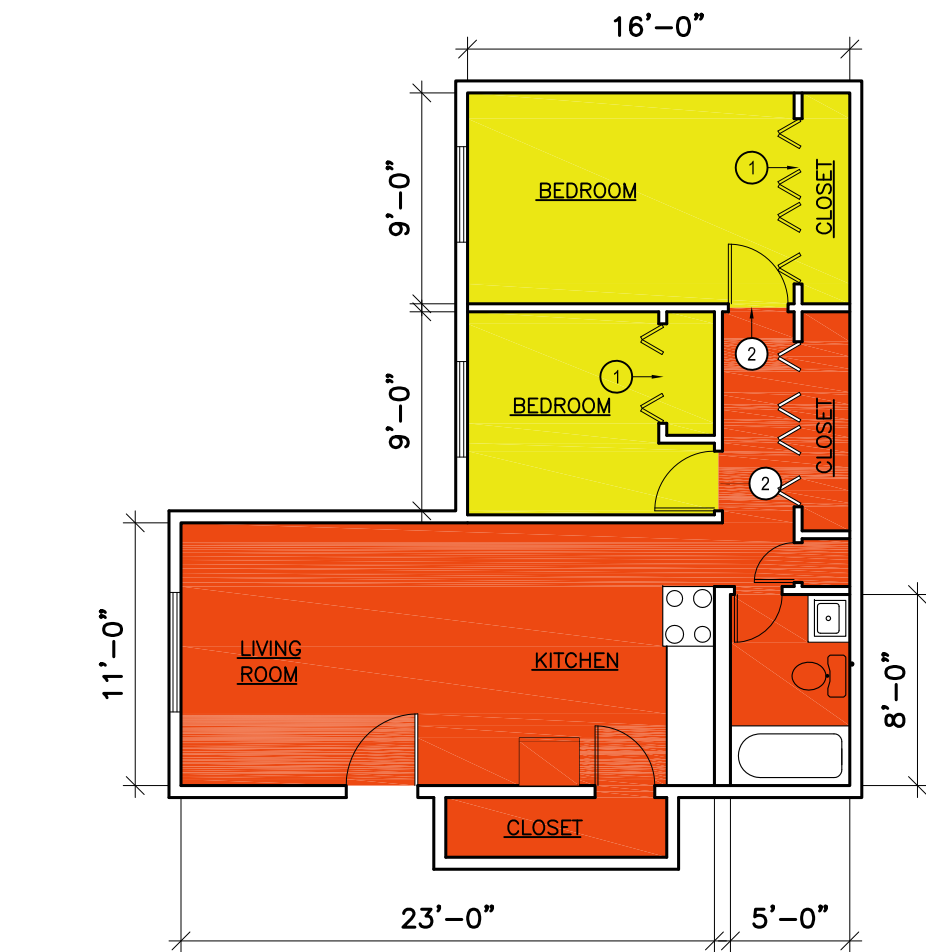
2 WESTSIDE HOUSES -3 BEDROOM
SCALE: 1/8" = 1'



2 WESTSIDE HOUSES - '64 UNIT "B"
SCALE: 1/8" = 1'



1 WESTSIDE HOUSES - '57 UNIT "A"
SCALE: 1/8" = 1'



1 GRANT CHAMBERLAIN 2-BEDROOM APT
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DRAWN BY: ASB

REVIEWED BY:

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PPA#23-0715

SHEET TITLE

GRANT
 CHAMBERLAIN

SHEET

A8

DATE

10-01-21